

KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

June 15, 2010

To whom it may concern,

In late January of 2010 Mrs. Addie L. Graaff stopped in at Community Development Services to inquire about her ability to partition off a portion of her property. At that time, I told her that this would be possible, but mistakenly told her to proceed with a parcel segregation application. Mrs. Graaff completed and submitted her application and paid the \$760.00 application processing fee. During the review and processing of the application, I realized that while the parcel could still be subdivided, due to the size and nature of the proposal, it would have to be accomplished via the short plat process not through parcel segregation. I subsequently contacted her informing her of my mistake and suggested that she pursue her request via a short plat application, and that we would credit the fees paid to this point toward that application. For justifiable personal reasons, Mrs. Graff elected not to pursue that avenue, and requested the return of her application fee for the segregation. After consultation with interim Community Development Services Director Kirk Holmes, it was agreed that because the mistake was mine and mine alone, a refund would be appropriate. Please feel free to contact me should have any additional questions or requirements regarding this application.

Jeffrey A. Watson
Staff Planner

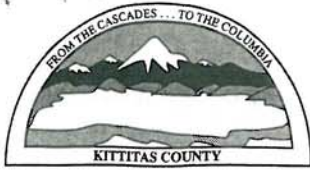
Kittitas County Community Development Services
411 N. Ruby Street, Suite 2
Ellensburg, WA 98926
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P: 509.933.8274
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Community Planning • Building Inspection • Plan Review • Administration • Permit Services • Code Enforcement • Fire Investigation

JUNE 15, 2010

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|-----------------------------|--|
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"Building Partnerships - Building Communities"

PERMIT NUMBER: SG-10-00001

KITTTITAS COUNTY REQUEST FOR PARCEL SEGREGATION, PARCEL COMBINATION AND BOUNDARY LINE ADJUSTMENT

Assessor's Office
Kittitas County Courthouse
205 W 5th, Suite 101
Ellensburg, WA 98926

Community Development Services
Kittitas County Permit Center
411 N Ruby, Suite 2
Ellensburg, WA 98926

Treasurer's Office
Kittitas County Courthouse
205 W 5th, Suite 102
Ellensburg, WA 98926

KITTTITAS COUNTY ENCOURAGES THE USE OF PRE-APPLICATION MEETINGS. PLEASE CONTACT COMMUNITY DEVELOPMENT SERVICES TO SET UP A PRE-APPLICATION MEETING TO DISCUSS A PROPOSED PROJECT.

PLEASE TYPE OR PRINT CLEARLY IN INK. ATTACH ADDITIONAL SHEETS AS NECESSARY. PURSUANT TO KCC 15A.03.030, A COMPLETE APPLICATION IS DETERMINED WITHIN 28 DAYS OF RECEIPT OF THE APPLICATION SUBMITTAL PACKET AND FEE. THE FOLLOWING ITEMS MUST BE ATTACHED TO THE APPLICATION PACKET:

REQUIRED FOR SUBMITTAL

- Unified Site Plan of existing lot lines and proposed lot lines with distances of all existing structures, well heads and septic drainfields.
- Signatures of all property owners.

OPTIONAL ATTACHMENTS

- An original survey of the current lot lines. (Please do not submit a new survey of the proposed adjusted or new parcels until after preliminary approval has been issued.)
- Legal descriptions of the proposed lots.
- Assessor Compas Information about the parcels.

APPLICATION FEE:

\$760 Administrative Segregation (\$630 CDS/\$130 FM)
SEGREGATED INTO 2 LOTS,

\$265 Major Boundary Line Adjustment (\$200 CDS/\$65 FM)
B LA BETWEEN PROPERTY OWNERS
BLA BETWEEN PROPERTIES IN SAME OWNERSHIP

\$50 COMBINATION
COMBINED AT OWNERS REQUEST

\$166 MINOR BOUNDARY LINE ADJUSTMENT (\$101 CDS/\$65 FM)
B LA BETWEEN PROPERTY OWNERS
BLA BETWEEN PROPERTIES IN SAME OWNERSHIP



FOR STAFF USE ONLY

APPLICATION RECEIVED BY:
(CDS STAFF SIGNATURE)

X [Signature]

DATE: 02-01-10

RECEIPT # 6886



NOTES: _____

REQUEST for PARCEL SEGREGATION and BOUNDARY LINE ADJUSTMENTS

THIS FORM MUST BE SIGNED BY COMMUNITY DEVELOPMENT SERVICES AND THE TREASURER'S OFFICE PRIOR TO SUBMITTAL TO THE ASSESSOR'S OFFICE.

1. Contact information:

Addie L. GRABFF
Applicant's Name
ELLENSBURG
City
968-3571
Phone number

1171 CLEMAN RD.
Address
WA - 98926
State, Zip Code
Email Address

2. Street address of property:

Address: 1171 CLEMAN RD
City/State/ZIP: ELLENSBURG, WA, 98926

3. Zoning Classification: AG

Original Parcel Number(s) & Acreage
(1 parcel number per line)

New Acreage
(Survey Vol. ____, Pg ____)

T19 NR 19 WA SEC 14
76+ ACRES
17-19-14000-0016

Applicant is: [X] Owner ___ Purchaser ___ Lessee ___ Other

Addie L. Grabff
Owner Signature Required

Applicant Signature (if different from owner)

Treasurer's Office Review

Tax Status: ___ By: ___ Date: ___
Kittitas County Treasurer's Office

Community Development Services Review

- () This segregation meets the requirements for observance of intervening ownership.
() This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04 Sec. ___)
() This segregation does meet Kittitas County Code Subdivision Regulations (Ch. 16.04.020 (5)
Deed Recording Vol. ___ Page ___ Date ___ **Survey Required: Yes ___ No ___
() This BLA meets the requirements of Kittitas County Code (Ch. 16.08.055).

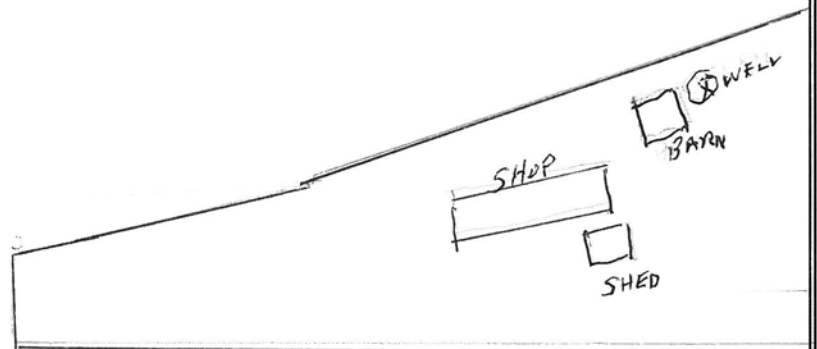
Card #: ___ Parcel Creation Date: ___
Last Split Date: ___ Current Zoning District: ___
Review Date: ___ By: ___
**Survey Approved: ___ By: ___

Notice: Kittitas County does not guarantee a buildable site, legal access, available water or septic areas, for parcels receiving approval for a Boundary Line Adjustment or Segregation.

This page must be completed for segregations and for boundary line adjustments not requiring a survey. Please use this page to indicate which parcels contain improvements.

THIS AREA FOR USE BY APPLICANT
(Use additional sheets as needed)

T17N.R19W.M SEC 14



APPROXIMATELY 7 ACRES

Directions:

1. Identify the boundary of the segregation:
 - a. The boundary lines and dimensions
 - b. Sub-Parcel identification (i.e. Parcels A, B, C or Lots 1, 2, 3, etc.)
2. Show all existing buildings, well heads and drain fields and indicate their distances from the original exterior property lines AND from the proposed property lines. If you have a copy of an original survey, please attach. A new survey will not be needed until preliminary approval has been granted.
3. Provide legal descriptions for each proposed tax parcel and identify by letter or number use on the map. Example: Parcel A – The North 75 feet of the West 400 feet of the Southwest quarter of the Southwest quarter of the Southwest quarter of Section 02; Township 20 North; Range 16 East; W.M.; Except the West 30 feet thereof for roads.

Graaff

TJOSSEM

SOW CREEK

EMC Canal

171914





PARKE CREEK

CLEMAN

171913

Approx. 3.75 acres

Legend

-  Roads
-  Hydrology
-  Parcel
-  Irrigation



0 400
Feet

171923

171924

This data is provided "as is" without warranty of any kind. Further, the Kittitas County Conservation District does not warrant, guarantee, or make any representations regarding the use of, or results from the use of the data in terms of correctness, accuracy, reliability, currentness, or otherwise. Photo may not be ortho-rectified. January 26, 2010.

T17 v.R.19 w. SEC. 14

Graaff

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T 17 N.R. 19 W.M. SEC 14